

CITY OF WESTMINSTER			
PLANNING APPLICATIONS SUB COMMITTEE	Date 22 October 2019	Classification For General Release	
Report of Director of Place Shaping and Town Planning		Ward(s) involved Lancaster Gate	
Subject of Report	9A Craven Hill, London, W2 3EN		
Proposal	Retention of single storey portico facade, remodelling of existing mansard roof, adjustment of floor heights to create an additional floor of accommodation, single storey ground floor rear extension, excavation of single storey basement level and associated internal and external alterations. (Linked to 19/04793/LBC)		
Agent	Mr Mike Mills		
On behalf of	Mr Jack Summers		
Registered Number	19/04792/FULL	Date amended/ completed	28 June 2019
Date Application Received	19 June 2019		
Historic Building Grade			
Conservation Area	Bayswater		

1. RECOMMENDATION

1. Grant conditional permission.
2. Grant conditional listed building consent.
3. Agree the reasons for granting conditional listed building consent as set out in Informative 1 of the draft decision notice.

2. SUMMARY

Planning permission and listed building consent are sought for the retention of single storey portico facade, remodelling of existing mansard roof, adjustment of floor heights to create an additional floor of accommodation, single storey ground floor rear extension, excavation of single storey basement level and associated internal and external alterations.

The key issues in the determination of this application are:

- The impact of the proposals upon the character and appearance of the Bayswater Conservation Area and upon the special interest of the Grade II listed building; and
- The impact of the proposals upon the amenity of neighbouring properties.

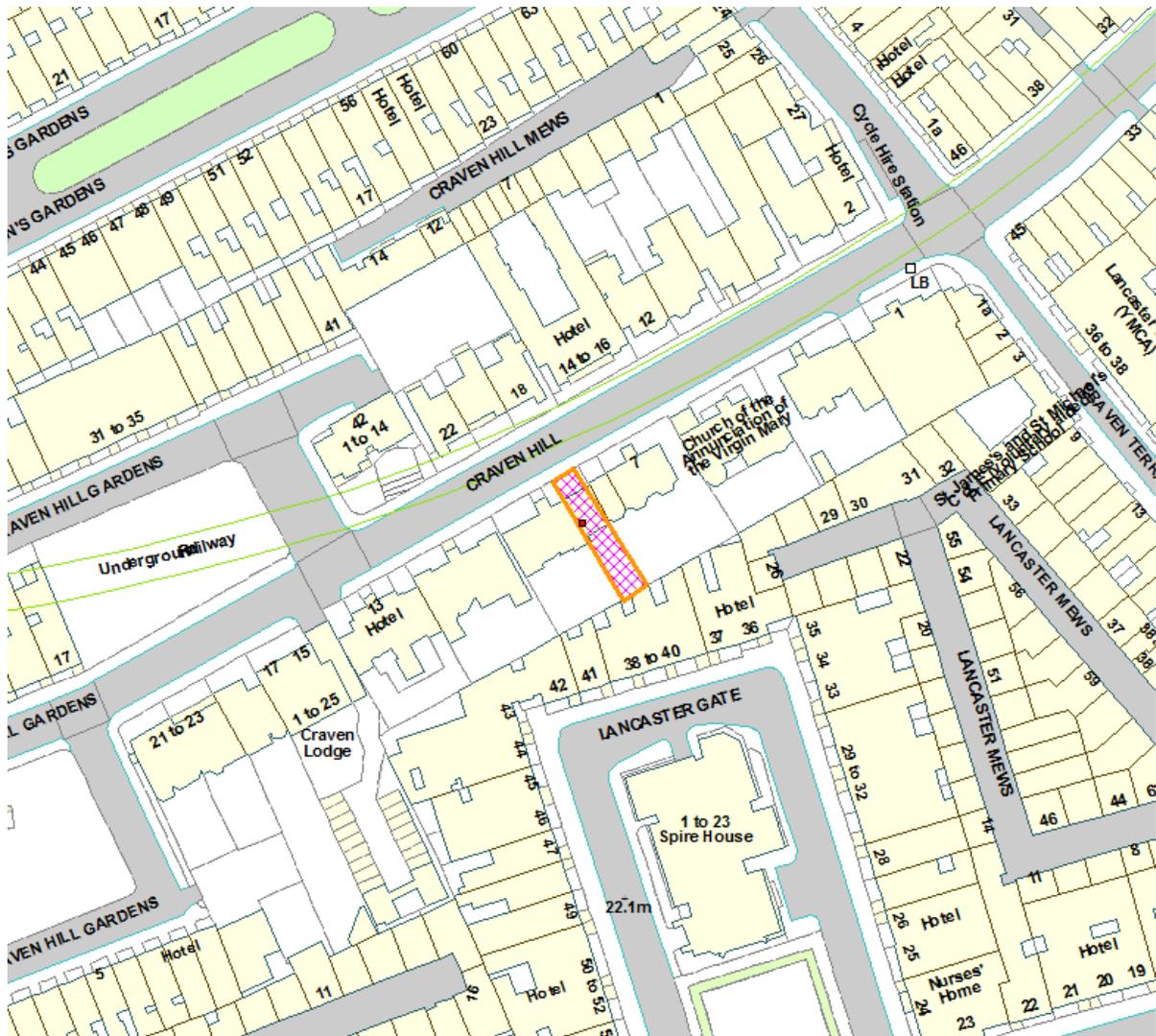
Objections have been received on land use, design and amenity grounds. For the reasons as set out in the report, the proposals are considered to accord with the relevant policies in the Unitary

Item No.

7

Development Plan (adopted January 2007) and in the Westminster's City Plan (adopted November 2016). The applications are recommended for approval.
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3. LOCATION PLAN



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4. PHOTOGRAPHS



5. CONSULTATIONS

SOUTH EAST BAYSWATER RESIDENTS ASSOCIATION

No objection in principle to the enlargement of the house, but consider the proposals excessive and the front basement bedroom substandard as a liveable space. Supports the various objections raised by neighbours.

LONDON UNDERGROUND

No objection in principle, but recommend a pre-commencement condition requiring approval of details of a design and method statement for the basement, foundations and associated structures in association with London Underground.

BUILDING CONTROL

No objection.

ARBORICULTURAL OFFICER

Following revisions, no objection subject to conditions related to tree protection zones, soil depth and landscaping.

HIGHWAYS PLANNING OFFICER

No objection subject to conditions.

WASTE PROJECTS OFFICER

No objection subject to condition related to waste/recycling.

ENVIRONMENTAL HEALTH OFFICER

No objection subject to condition related to internal noise levels for the dwelling.

NEIGHBOURING OWNERS / OCCUPIERS

No. consulted: 79

No. responded: 4

No. objected: 4

Four comments were received from neighbouring residents objecting on the following grounds:

Design:

- Overdevelopment of the site
- Bulk, scale and height of the enlarged dwelling
- Loss of rear garden space
- Harm to listed buildings
- Harm to the conservation area
- Future potential to sub-divide dwelling and/or further extend at the rear
- Setting a precedent for rear extensions in the area

Amenity:

- Loss of daylight/sunlight
- Loss of privacy

Highways:

- Increased pressure for car parking

Other:

- Harm to neighbouring buildings from basement construction
- Increased carbon output
- No re-provision of removed TPO tree in front garden
- Proximity to London Underground tunnels
- Impact on neighbouring rear cooker flue

SITE NOTICE / PRESS ADVERT

Yes.

6. BACKGROUND INFORMATION

6.1 The Application Site

The application site is a Grade II listed dwellinghouse comprising ground plus a mansard roof storey, located on the south side of Craven Hill within the Bayswater Conservation Area. The building would have originally formed an extension to the main three-storey villa building at 9 Craven Hill, along with the adjoining two-storey extension on the opposite side. The three now-separate dwellings share a single Grade II listing and form part of a row of mid-19th Century Grade II listed villa buildings along Craven Hill.

6.2 Recent Relevant History

None relevant.

7. THE PROPOSAL

Planning permission and listed building consent are sought for the retention of the single storey portico facade, remodelling of the existing mansard roof, adjustment of floor heights to create an additional floor of accommodation, single storey ground floor rear extension, excavation of single storey basement level and associated internal and external alterations.

The proposals have been revised following officer concerns over the detailed design of the mansard and front garden basement and to include the required 1.2m soil and drainage layer above the basement. It was not considered necessary to re-consult following these minor amendments.

8. DETAILED CONSIDERATIONS

8.1 Land Use

The proposals would result in the creation of additional residential floorspace within the dwellinghouse, which is acceptable in principle and in accordance with City Plan policy

S14 and Unitary Development Plan (UDP) policy H 3. The proposals will convert the two-bedroom dwellinghouse into a four-bedroom dwellinghouse, creating a family-sized unit which is consistent with the aims of City Plan policy S15 and UDP policy H 5.

SEBRA have commented on the proposals and suggested that the front basement bedroom is 'substandard'. However, the proposed bedroom will have a Gross Internal Area (GIA) of approximately 15.5 sqm when including the ensuite shower room. The floor-to-ceiling height will measure 2.4m. The bedroom will also receive natural light and ventilation from two open-air lightwells with windows. Therefore, it is considered that the basement bedroom is of a sufficient standard to serve as a habitable bedroom for this single-family dwelling.

8.2 Townscape and Design

No. 9 Craven Hill was originally designed as a three-bay villa style building, though apparently in the late 19th century wings were added to both side elevations. To the eastern side an extension was added which remains in altered form, which has since been converted to a separate house, 9A Craven Hill, the application site. It has a rendered ground floor elevation with classically inspired entrance porch of uncertain date though which could be original to the building, and a slate clad mansard above also of uncertain date. The rear elevation appears to have been altered in the past with apparently more modern brickwork to the first floor level, and an arrangement of windows and doors of traditional appearance though not of any notable quality. The interior has very little contribution to the significance of the building.

Whilst the proposals involve the large scale demolition of the wing, the principal feature of importance, the classically inspired front entrance porch, is to be retained and as such the proposals do not involve the loss of important historic fabric in this case. The proposals for the re-worked building have been negotiated through the course of the application process and are now considered acceptable. The creation of a parapet above the existing main ground floor elevation is in line with similar features to the adjoining buildings. Whilst raising the height of the rendered element in context with the adjoining building, which has render to its ground floor only, given the small scale increase in height this approach is considered acceptable. The addition of this parapet and the increase in height of the mansard allows a new floor of accommodation to be inserted to the building without undue increase in the overall scale of the building. The mansard is in line with the design criteria set out in the City Council's published guidance on roof extensions.

The ground floor extension to rear garden level is modest in scale, being of only one storey and extending by 1.6m on each side with a curved facade which extends no more than 1.8m from the existing building. The rear extension will neither visually compete with the host building nor the adjoining buildings on either side, specifically no. 9 which represents the main body of the original villa building. The curved rear elevation and its detailing reflects the bay found to the main body of no. 9 and, as such, it is considered acceptable in design and listed building terms.

The originally proposed front steps and entrance to the basement level within the front garden have been removed. The lightwells to the front garden have similarly been amended during the course of the application submission and are now discreetly set

adjacent and flanking the main entrance porch, and are considered acceptable. The traditional appearance of the front garden is thereby retained, as is the character and appearance of the Bayswater Conservation Area. To the rear garden, vents from the basement are set into the garden, and a condition is attached to ensure these are appropriate in appearance. The small lightwells to the rear patio are considered acceptable given their size and proximity to the rear elevation.

Several comments have been received from neighbouring residents objecting to the proposals on design and heritage grounds. These concerns primarily relate to the harm to the listed building and conservation area as a result of the increased bulk, scale and height of the building. Concerns are also raised in relation to 'overdevelopment' of the site, the percentage increase in floorspace through the insertion of floor levels and the loss of garden land. As discussed above, the primary features and appearance of the listed building are to be retained. Whilst it is acknowledged that the new mansard will result in added height to the building, the building will still be more than two-storeys lower than the main building of no. 9 and will be no taller than the adjoining building at no. 7A. Whilst there will be added bulk at the rear ground floor level, which will extend beyond the built line of 7A, this extension will be discreetly located to the rear and will be set back from the rear elevation of the main villa building at no. 9. As a result, the appearance of the building and its perception as a subordinate wing of the original villa building will be retained. Furthermore, the rear extension is sufficiently small so as to retain the majority of the existing rear garden area. Therefore, objections on grounds of the loss of garden area cannot be supported.

Overall, the proposals are considered acceptable in design and conservation terms. The recommendation is considered in line with relevant policies and guidance, and with the statutory duties set out in s. 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 and officers do not consider that harm is caused to the significance of the listed building or the Bayswater Conservation Area, mindful of the considerations of section 16 of the National Planning Policy Framework.

8.3 Residential Amenity

Policy S29 of the City Plan and ENV13 of the UDP relates to protecting amenities, daylight and sunlight, and environmental quality. Policy ENV 13 (D) states that the City Council will resist proposals which result in a material loss of daylight/sunlight, particularly to existing dwellings and educational buildings. Policy ENV 13 (E) goes on to state that developments should not result in a significant increase in sense of enclosure, overlooking, or cause unacceptable overshadowing, particularly on gardens, public open space or on adjoining buildings, whether in residential or public use.

Neighbouring residents have objected to the proposals on the grounds of loss of daylight/sunlight and loss of privacy as a result of the rear extension.

It is acknowledged that the rear ground floor extension will result in some loss of daylight/sunlight to the rear windows at no. 9 and the lower ground floor of 7A. Regarding 7A, there are three glazed windows serving this room and the minor loss is not considered significant enough so as to necessitate a refusal on amenity grounds. Nor would the extension significantly reduce daylight/sunlight at no. 9.

The sense of enclosure will be increased to the window which directly faces the application site at 7A; however these windows are already set below the level of the party wall and currently experience a relatively poor outlook and increased sense of enclosure in this location. Again, the added height and bulk from the minor rear extension is not considered to significantly harm neighbouring amenity in terms of outlook, overshadowing or sense of enclosure.

A new window will be created at the rear within the mansard, but it is not considered that this would result in significant harm to neighbouring privacy or unacceptable increased overlooking.

The Council's Environmental Health Officer has reviewed the proposals and has recommended a condition related to internal noise levels for the dwelling. Given the proposals do not seek to create an additional or new dwelling, it is not considered necessary or reasonable to recommend this condition.

Given the above, the proposals are considered to comply with City Plan policies S29 and S32 and UDP policies ENV 6, ENV 7 and ENV 13 and are, therefore, acceptable in amenity terms.

8.4 Transportation/Parking

The proposals would not result in the creation of any additional dwellings and, therefore, it is not considered that the proposals would significantly add to demand for on-street car parking within the vicinity of the site. The proposals do not include car parking or cycle parking, however, given the proposals seek only to enlarge an existing dwellinghouse, it is not considered necessary to require these details.

8.5 Economic Considerations

No economic considerations are applicable for a development of this size

8.6 Access

Not applicable.

8.7 Other UDP/Westminster Policy Considerations

8.7.1 Arboriculture

The application site has a history of cases involving trees with Tree Preservation Orders (TPOs). Specifically, in July 1999 the Council agreed the removal of a large London Plane tree in the front garden (RN: 98/05709/TPO), whilst at the rear it was agreed to remove a TPO Holm Oak in February 2015 (RN: 15/00044/TPO). In both cases the expectation was that a replacement tree would be secured, however this did not occur in either case. One of the neighbour objections specifically mentions the lack of reprovion of a tree in the front garden.

The Council's Arboricultural Officer initially objected to the proposals due to insufficient information and the lack of an Arboricultural Impact Assessment (AIA). Following the

submission of an AIA, the arboricultural officer raised objections to the lack of a 1.2m soil and drainage layer and undeveloped margins, which should be secured to allow future planting and, potentially, a tree to take root and grow.

Following discussions and revisions to the basement design, the proposals now include a 1.2m soil and drainage layer over the entire front basement top cover, with 1.4m soil depth within the planter. A margin of undeveloped land has been secured at the front and west side boundaries. Subject to conditions related to soil depth, landscaping and tree protection, the proposals are now considered acceptable in arboricultural terms.

8.8 Westminster City Plan

The City Council is currently working on a complete review of its City Plan. Informal consultation on the first draft of Westminster's City Plan 2019-2040 took place between Monday 12 November 2018 and Friday 21 December 2018. Following this informal consultation, the draft plan has been revised and formal consultation is now being carried out under Regulation 19 of the Town and Country Planning Act (Local Planning) (England) Regulations 2012 between Wednesday 19 June 2019 and Wednesday 31 July 2019. In the case of a draft local plan that has been published for consultation under Regulation 19 of the Town and Country Planning Act (Local Planning) (England) Regulations 2012, including a second revision Regulation 19 plan, it remains at a pre-submission stage (i.e. has yet to be submitted to the Secretary of State for Examination in Public) and therefore, having regard to the tests set out in para. 48 of the NPPF, it will generally attract very limited weight at this present time.

8.9 London Plan

This application raises no strategic issues.

8.10 National Policy/Guidance Considerations

The City Plan and UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

Further to the Town and Country Planning (Pre-commencement Conditions) Regulations 2018, the City Council cannot impose a pre-commencement condition (a condition which must be discharged before works can start on site) on a planning permission without the written agreement of the applicant, unless the applicant fails to provide a substantive response within a 10 day period following notification of the proposed condition, the reason for the condition and justification for the condition by the City Council.

During the course of this application a notice was served relating to the proposed imposition of a pre-commencement condition to secure the applicant's adherence to the City Council's Code of Construction Practice during the demolition/excavation and construction phases of the development. The applicant has agreed to the imposition of the condition.

8.11 Planning Obligations

Planning obligations are not relevant in the determination of this application.

8.12 Environmental Impact Assessment

There are no environmental impact issues arising as a result of the proposals.

8.13 Other Issues

8.13.1 Basement

Applications for basement development are to be assessed against City Plan policy CM28.1 and the guidance contained within the Basement Development in Westminster SPD.

Part A of CM28.1 requires all applications for basement development to be accompanied by a detailed structural methodology statement (SMS). This has been assessed by the Council's Building Control officer who has raised no objections. Given this, it is considered that the proposals could be carried out without jeopardising the structural stability of the existing and nearby buildings. A condition has been recommended and agreed by the applicant which requires the development to be carried out in accordance with the Council's Code of Construction Practice (CoCP). A number of objections have been received from neighbouring residents which have raised concerns over impacts of the basement excavation on the adjoining buildings and residents. Whilst these concerns are acknowledged, Building Control are satisfied with the details within the SMS and it is considered that impacts to adjoining buildings and residents can be sufficiently controlled through conditions such as that related to the CoCP.

Regarding Part B of CM28.1, the application is supported by an Arboricultural Impact Assessment which addresses concerns related to trees on and near the site and is discussed in greater detail below. Soft landscaping and planting are incorporated within the front garden, as are natural lighting and ventilation methods for the basement areas. Following revisions, the front basement has been re-designed to remove the stairs and access door, retaining the historic front garden form and appearance which positively contributes to the listed building, the conservation area and surrounding townscape. The now-proposed front lightwells have been reduced in size, relocated to either side of the front portico and will be open-air with traditional metal railings. The rear lightwells and vents will be discreetly located and appropriately sized so as not to harm the appearance of the building and its garden setting. Overall, the proposals comply with Part B.

Regarding Part C, the basements do not extend beneath 50% of the garden land and are, therefore, acceptable. Due to the small size of the site and the mostly hard-landscaped front garden, a margin of undeveloped land has been included at the front boundary only, whilst sufficient undeveloped land is retained at the rear. Following revisions, a 1.2m combined soil/drainage layer has been included above the entire top cover of the front basement as required by Part C, with 1.4m shown within the planter area. The proposals would not result in excavation of more than one storey below the lowest existing floor level. On balance, the proposals comply with CM28.1 Part C.

The proposals do not seek to excavate underneath the highway and, therefore, Part D does not apply.

It is considered that, subject to conditions, the proposals accord with City Plan policy CM28.1 and the guidance contained within the Basement SPD.

8.13.2 London Underground

London Underground have commented on the proposals, raising no objection to the principle of basement development. However, given the site's location above a London Underground tunnel, a pre-commencement condition is recommended and has been agreed with the applicant to require approval of a detailed design and method for the basement construction and associated foundations, piles, etc. in consultation with London Underground. Given the response from London Underground and the construction of basements along this part of Craven Hill, objections from neighbours on grounds of the proximity to the London Underground tunnel cannot be supported.

8.13.3 Other

An objection has also been received in relation to the impact of the rear extension on the neighbour's cooker flue which is said to need sufficient space around it to operate. However, this is not considered to be a planning matter, but rather a private issue and/or a matter for Building Control.

(Please note: All the application drawings and other relevant documents and Background Papers are available to view on the Council's website)

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT PLEASE CONTACT THE PRESENTING OFFICER: NATHAN BARRETT BY EMAIL AT nbarrett@westminster.gov.uk

9 KEY DRAWINGS





no.9

no.9a

no.7a

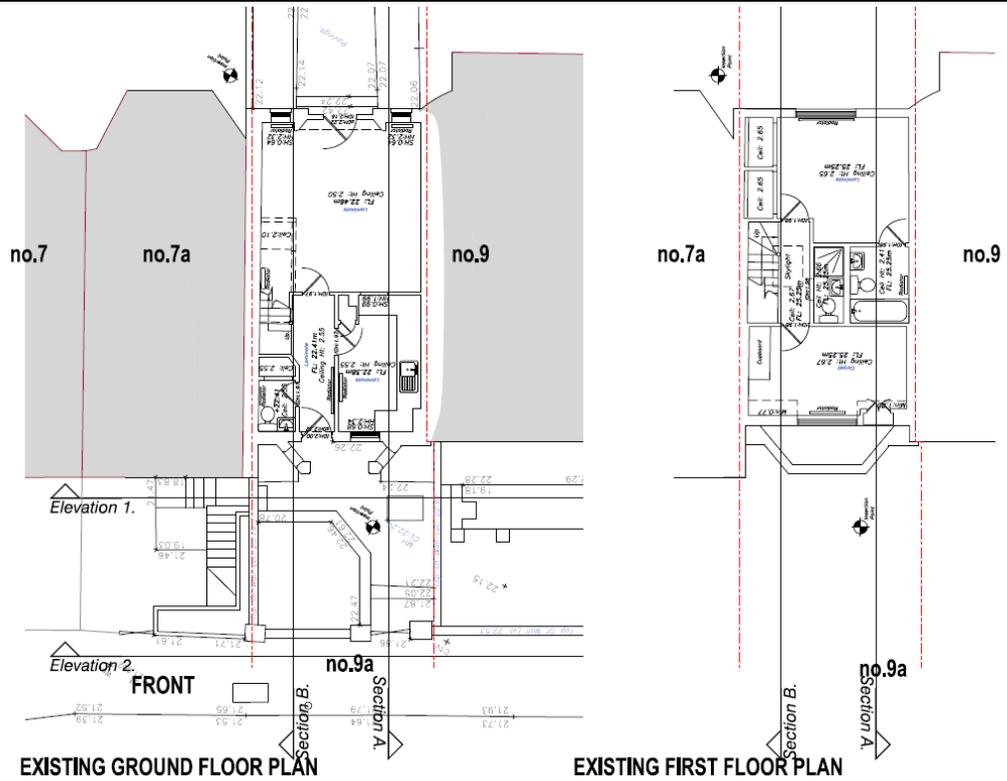
EXISTING REAR ELEVATION

no.9

no.9a

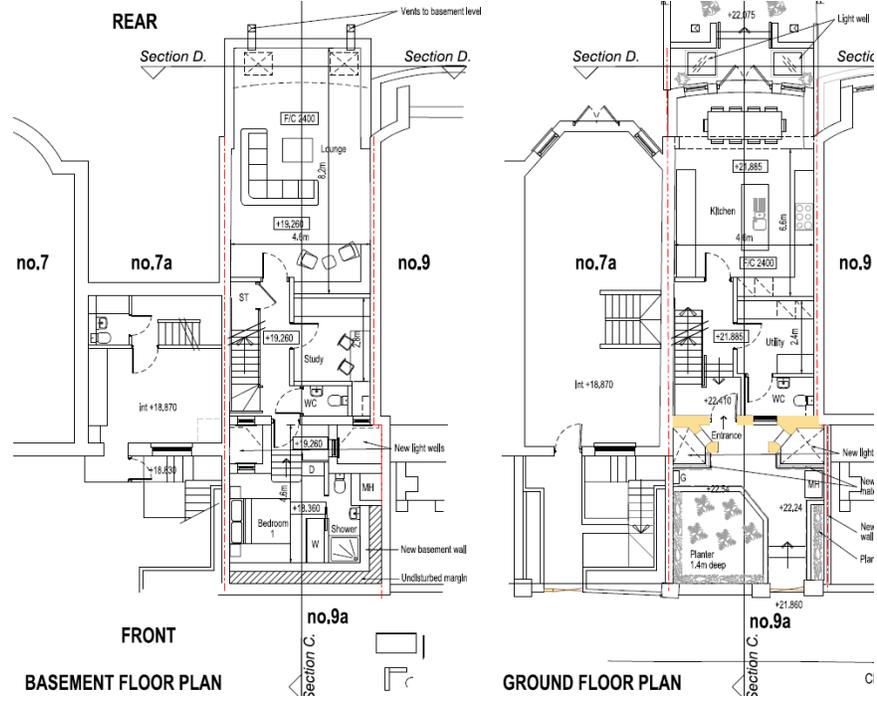
no.7a

PROPOSED REAR ELEVATION



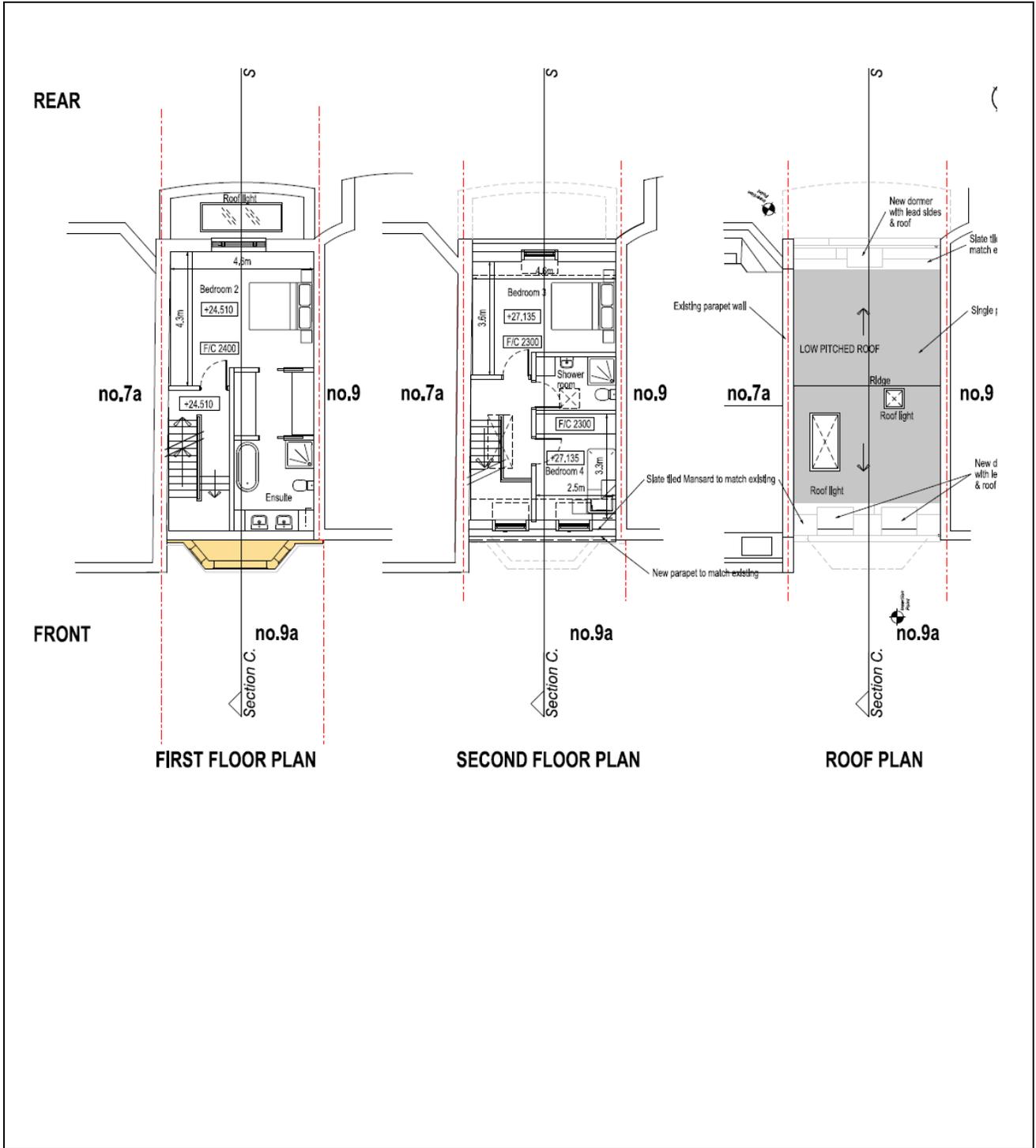
EXISTING GROUND FLOOR PLAN EXISTING FIRST FLOOR PLAN

Existing ground and first floor plan.



BASEMENT FLOOR PLAN GROUND FLOOR PLAN

Proposed basement and ground floor plan.



DRAFT DECISION LETTER

Address: 9A Craven Hill, London, W2 3EN

Proposal: Retention of single storey portico facade, remodelling of existing mansard roof, adjustment of floor heights to create an additional floor of accommodation, single storey ground floor rear extension, excavation of single storey basement level and associated internal and external alterations. (Linked to 19/04793/LBC)

Reference: 19/04792/FULL

Plan Nos: Site Location Plan; 1020_L_01; 1020_L_02 Rev A; 1020_P_001 Rev H; 1020_P_002 Rev D; 1020_P_003 Rev G; 1020_P_004 Rev D; 1020_P_005 Rev F; Planning and Heritage Statement (ref. 18355/MM/ik) dated June 2019; Subterranean Structural Statement Revision 2 dated 18.06.2019; Tree Survey, Arboricultural Implications Assessment & Method Statement (ref. 19411/A1) dated August 2019; Signed Appedix A checklist.

Case Officer: Kimberley Davies

Direct Tel. No. 020 7641 5939

Recommended Condition(s) and Reason(s)

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 Except for piling, excavation and demolition work, you must carry out any building work which can be heard at the boundary of the site only:
 - o between 08.00 and 18.00 Monday to Friday;
 - o between 08.00 and 13.00 on Saturday; and
 - o not at all on Sundays, bank holidays and public holidays.

You must carry out piling, excavation and demolition work only:

- o between 08.00 and 18.00 Monday to Friday; and
- o not at all on Saturdays, Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours unless otherwise agreed through a Control of Pollution Act 1974 section 61 prior consent in special circumstances (for example, to meet police traffic restrictions, in an emergency or in the interests of public safety). (C11AB)

Reason:

To protect the environment of residents and the area generally as set out in S29 of Westminster's City Plan (November 2016) and STRA 25, TRANS 23, ENV 5 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 4 The new external windows to the front elevation and windows and doors to the rear elevation shall be formed in glazing and white painted timber framing

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 5 The new front entrance door at ground floor level shall be formed in painted timber

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 6 The new windows to the ground and second floor levels on the front elevation, and ground first and second floors on the rear elevation shall be designed to open only in a vertically sliding manner

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 7 The new areas of render to the front elevation shall be formed in smooth render which shall match the colour of the existing render to the existing front elevation

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 8 The main front and rear pitches to the mansard at second floor level shall be faced in natural slate, and the secondary pitches above shall be clad in either lead or grey coloured roofing membrane or covering

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 9 You must apply to us for approval of a sample panel of brickwork which shows the colour, texture, face bond and pointing. You must not start work on this part of the development until we have approved what you have sent us. You must then carry out the work according to the approved sample, and the brickwork to the rear elevation shall remain unpainted or rendered. (C27DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 10 The dormers shall be clad in lead to sides, cheeks and roofs

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 11 You must not carry out demolition work unless it is part of the complete development of the site. You must carry out the demolition and development without interruption and according to the drawings we have approved. (C29BB)

Reason:

To maintain the character and appearance of the Bayswater Conservation Area and the special architectural and historic interest of this listed building as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1, DES 9 (B) and paras 10.108 to 10.146 of

our Unitary Development Plan that we adopted in January 2007 and Section 74(3) or Section 17(3) of the Planning (Listed Buildings and Conservation Areas) Act 1990. (R29CC)

- 12 You must apply to us for approval of a detailed plan and detailed section drawing showing the external elements of the vents to the rear garden including any covering over them. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these drawings. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 13 The new external railings shall be formed in black coloured metal and shall be retained in that colour thereafter

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 14 You must apply to us for approval of detailed elevation drawings showing the railings to flank the front lightwells. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these drawings. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 15 **Pre Commencement Condition.** Prior to the commencement of any:

- (a) Demolition, and/or
- (b) Earthworks/piling and/or
- (c) Construction

On site you must apply to us for our written approval of evidence to demonstrate that any implementation of the scheme hereby approved, by the applicant or any other party, will be bound by the council's Code of Construction Practice. Such evidence must take the form of the

relevant completed Appendix A checklist from the Code of Construction Practice, signed by the applicant and approved by the Council's Environmental Sciences Team, which constitutes an agreement to comply with the Code of Construction Practice and requirements contained therein. Commencement of the relevant stage of demolition, earthworks/piling or construction cannot take place until the City Council as local planning authority has issued its written approval through submission of details prior to each stage of commencement. (C11CD)

Reason:

To protect the environment of residents and the area generally as set out in S29 of Westminster's City Plan (November 2016) and STRA 25, TRANS 23, ENV 5 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 16 **Pre Commencement Condition.** The development hereby permitted shall not be commenced until detailed design and method statements (in consultation with London Underground) for all of the foundations, basement and ground floor structures, or for any other structures below ground level, including piling (temporary and permanent), have been submitted to and approved in writing by the local planning authority which:

- provide details on basement construction
- accommodate the location of the existing London Underground structures and tunnels
- accommodate ground movement arising from the construction thereof

Reason:

To ensure that the development does not impact on existing London Underground transport infrastructure, in accordance with London Plan 2015 Table 6.1, draft London Plan policy T3 and 'Land for Industry and Transport' Supplementary Planning Guidance 2012.

- 17 Notwithstanding the submitted drawings, you must apply to us for approval of brick arches above the ground and first floor windows. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these drawings. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 18 During the development, you must not dig, or store or position any structures, machinery, equipment, materials or spoil:

- (a) underneath the canopy of any trees which are to be kept as shown on plan 'Tree Constraints Plan'
- (b) within the root protection area (as defined by British Standard BS5837: 2012) and within five metres beyond it

(c) in any undeveloped area of the garden which is proposed for soft landscaping.

Reason:

To make sure that the trees on the site are adequately protected during building works. This is as set out in S38 of Westminster's City Plan (November 2016) and DES 1 (A), ENV 16 and ENV 17 of our Unitary Development Plan that we adopted in January 2007. (R31AC)

- 19 You must apply to us for approval of detailed drawings of a hard and soft landscaping scheme which includes the number, size, species and position of trees and shrubs. You must not start work on the relevant part of the development until we have approved what you have sent us. You must then carry out the landscaping and planting within one year of completing the development (or within any other time limit we agree to in writing).

If you remove any trees or find that they are dying, severely damaged or diseased within five years of planting them, you must replace them with trees of a similar size and species. (C30CB)

Reason:

To improve the appearance of the development, to make sure that it contributes to the character and appearance of this part of the Bayswater Conservation Area, and to improve its contribution to biodiversity and the local environment. This is as set out in S25, S28 and S38 of Westminster's City Plan (November 2016) and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R30CD)

- 20 You must provide the soil depth and overall volume above the top cover of the basement as shown on the drawings hereby approved. The soil depth and soil volume above the basement must thereafter be retained as approved

Reason:

To improve the appearance of the development and its contribution to biodiversity and the local environment, as set out in S38, CM28.1 of Westminster's City Plan (November 2016), and ENV 16, ENV 17 and DES 1 (A) of our Unitary Development Plan that we adopted in January 2007.

- 21 You must apply to us for approval of details of how waste is going to be stored on the site and how materials for recycling will be stored separately. You must not start work on the relevant part of the development until we have approved what you have sent us. You must then provide the stores for waste and materials for recycling according to these details, clearly mark the stores and make them available at all times to everyone using the dwelling. (C14EC)

Reason:

To protect the environment and provide suitable storage for waste as set out in S44 of Westminster's City Plan (November 2016) and ENV 12 of our Unitary Development Plan that we adopted in January 2007. (R14BD)

Informative(s):

1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan (November 2016), Unitary Development Plan, neighbourhood plan (where relevant), supplementary planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.

2 HIGHWAYS LICENSING:

Under the Highways Act 1980 you must get a licence from us before you put skips or scaffolding on the road or pavement. It is an offence to break the conditions of that licence. You may also have to send us a programme of work so that we can tell your neighbours the likely timing of building activities. For more advice, please phone our Highways Licensing Team on 020 7641 2560.

CONSIDERATE CONSTRUCTORS:

You are encouraged to join the nationally recognised Considerate Constructors Scheme. This commits those sites registered with the Scheme to be considerate and good neighbours, as well as clean, respectful, safe, environmentally conscious, responsible and accountable. For more information please contact the Considerate Constructors Scheme directly on 0800 783 1423, siteenquiries@ccscheme.org.uk or visit www.ccscheme.org.uk.

BUILDING REGULATIONS:

You are advised that the works are likely to require building regulations approval. Details in relation to Westminster Building Control services can be found on our website <https://www.westminster.gov.uk/contact-us-building-control>

3 With reference to condition 15 please refer to the Council's Code of Construction Practice at (<https://www.westminster.gov.uk/code-construction-practice>). You will be required to enter into the relevant Code appropriate to this scale of development and to pay the relevant fees prior to starting work.

Your completed and signed Checklist A (for Level 1 and Level 2 developments) or B (for basements) and all relevant accompanying documents outlined in Checklist A or B must be submitted to the City Council's Environmental Sciences team (environmentalsciences2@westminster.gov.uk) and the checklist must be countersigned by them before you apply to the local planning authority to discharge the above condition. The full Site Environmental Management Plan (Levels 1 and 2) or Construction Management Plan (basements) must be submitted at least 40 days prior to commencement of works (which may include some pre-commencement works and demolition).

You are urged to give this your early attention as the relevant stages of demolition, earthworks/piling or construction cannot take place until the City Council as local planning authority has issued its written approval of each of the relevant parts, prior to each stage of commencement.

Where you change your plans after we have discharged the condition, you must re-apply and

submit new details for consideration before you start work. Please note that where separate contractors are appointed for different phases of the project, you may apply to partially discharge the condition by clearly stating in your submission which phase of the works (i.e. (a) demolition, (b) excavation or (c) construction or a combination of these) the details relate to. However please note that the entire fee payable to the Environmental Sciences team must be paid on submission of the details relating to the relevant phase. Appendix A or B must be signed and countersigned by Environmental Sciences prior to the submission of the approval of details of the above condition.

- 4 With regards to condition 12, you are advised that for an application to discharge this condition to be considered acceptable, the drawings will need to show the external elements of the vents largely enclosed in a stone surround neatly integrated into the surrounding landscaping, or similarly appropriately enclosed in an attractive and discreet surrounding structure.
- 5 With regards to condition 14, you are advised that for an application to discharge this condition to be considered acceptable the railings will need to be formed by plain undecorated railings beneath a flat handrail with no finials above.
- 6 With regards to condition 17, the very strong preference is for the arches above these windows to be detailed as flat arches (a detail which includes the brickwork slightly splaying out at the junction of the top and sides of the window opening)
- 7 Regarding Condition 16, the applicant is advised to contact London Underground Infrastructure Protection in advance of preparation of final design and associated method statements, in particular with regard to: demolition; excavation and construction methods.
- 8 The applicant is advised to contact London Underground Infrastructure Protection in advance of preparation of final design and associated method statements, in particular with regard to: demolition; excavation and construction methods.
- 9 This site is in a conservation area. By law you must write and tell us if you want to cut, move or trim any of the trees there. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I32AA)
- 10 Please read the following.
 - * British Standard BS: 5837 (2005) and later revisions - Recommendations for trees in relation to construction
 - * National Joint Utilities Group guide NJUG 10 - Guidelines for the planning, installation and maintenance of utility services in proximity to trees (1995)
 - * Arboricultural Practice Note APN 1 - Driveways close to trees (1996), and the products available to provide hard surfaces close to trees. (I92AA)
- 11 Please let our arboricultural team (020 7641 2922) know when you are going to start work on the site. It would be useful if you could give us at least five working days' notice of this date. This will allow us to inspect your tree-protection measures during the work. (I92BA)

- 12 You must protect the trees during demolition and building work (as set out in your arboricultural method statement), and you must make sure that people working on the site know that the trees are protected and the methods that have been agreed. If you do not keep to this condition, we may take enforcement action. You may also be prosecuted for damaging or destroying protected trees, under section 210 and 211 of the Town and Country Planning Act 1990. (I92DA)

Please note: the full text for informatives can be found in the Council's Conditions, Reasons & Policies handbook, copies of which can be found in the Committee Room whilst the meeting is in progress, and on the Council's website.

DRAFT DECISION LETTER

Address: 9A Craven Hill, London, W2 3EN

Proposal: Retention of existing single storey portico facade, remodelling of existing mansard roof, adjustment of floor heights to create an additional floor of accommodation, single storey ground floor rear extension, excavation of single storey basement level and associated internal and external alterations. (Linked to 19/04792/FULL)

Reference: 19/04793/LBC

Plan Nos: Site Location Plan; 1020_L_01; 1020_L_02 Rev A; 1020_P_001 Rev H; 1020_P_002 Rev D; 1020_P_003 Rev G; 1020_P_004 Rev D; 1020_P_005 Rev F; Planning and Heritage Statement (ref. 18355/MM/ik) dated June 2019.

Case Officer: Kimberley Davies

Direct Tel. No. 020 7641 5939

Recommended Condition(s) and Reason(s)

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 All new work and improvements inside and outside the building must match existing original adjacent work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the approved drawings or are required in conditions to this permission. (C27AA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

- 3 The new external windows to the front elevation and windows and doors to the rear elevation shall be formed in glazing and white painted timber framing

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

- 4 The new front entrance door at ground floor level shall be formed in painted timber

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

- 5 The new windows to the ground and second floor levels on the front elevation, and ground first and second floors on the rear elevation shall be designed to open only in a vertically sliding manner

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

- 6 The new areas of render to the front elevation shall be formed in smooth render which shall match the colour of the existing render to the existing front elevation

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

- 7 The main front and rear pitches to the mansard at second floor level shall be faced in natural slate, and the secondary pitches above shall be clad in either lead or grey coloured roofing membrane or covering

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

- 8 You must apply to us for approval of a sample panel of brickwork which shows the colour, texture, face bond and pointing. You must not start work on this part of the development until we have approved what you have sent us. You must then carry out the work according to the approved sample. (C27DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

- 9 The dormers shall be clad in lead to sides, cheeks and roofs

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

- 10 You must not carry out demolition work unless it is part of the complete development of the site. You must carry out the demolition and development without interruption and according to the drawings we have approved. (C29BB)

Reason:

To maintain the character and appearance of the Bayswater Conservation Area and the special architectural and historic interest of this listed building as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1, DES 9 (B) and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007 and Section 74(3) or Section 17(3) of the Planning (Listed Buildings and Conservation Areas) Act 1990. (R29CC)

- 11 You must apply to us for approval of a detailed plan and detailed section drawing showing the external elements of the vents to the rear garden including any covering over them. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these drawings. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

- 12 The new external railings shall be formed in black coloured metal and shall be retained in that colour thereafter

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

- 13 You must apply to us for approval of detailed elevation drawings showing the railings to flank the front lightwells. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these drawings. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary

Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

- 14 Notwithstanding the submitted drawings, you must apply to us for approval of brick arches above the ground and first floor windows. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these drawings. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BD)

Informative(s):

- 1 SUMMARY OF REASONS FOR GRANTING CONDITIONAL LISTED BUILDING CONSENT - In reaching the decision to grant listed building consent with conditions, the City Council has had regard to the relevant policies in the National Planning Policy Framework, the London Plan 2016, Westminster's City Plan (November 2016), and the City of Westminster Unitary Development Plan adopted January 2007, as well as relevant supplementary planning guidance, representations received and all other material considerations.

The City Council decided that the proposed works would not harm the special architectural and historic interest of this listed building.

In reaching this decision the following were of particular relevance:
S25 and S28 of Westminster's City Plan and DES 10 including paras 10.130 to 10.146 of the Unitary Development Plan, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings.

- 2 With regards to condition 11, you are advised that for an application to discharge this condition to be considered acceptable, the drawings will need to show the external elements of the vents largely enclosed in a stone surround neatly integrated into the surrounding landscaping, or similarly appropriately enclosed in an attractive and discreet surrounding structure.
- 3 With regards to condition 13, you are advised that for an application to discharge this condition to be considered acceptable the railings will need to be formed by plain undecorated railings beneath a flat handrail with no finials above.
- 4 With regards to condition 14, the very strong preference is for the arches above these windows to be detailed as flat arches (a detail which includes the brickwork slightly splaying out at the junction of the top and sides of the window opening)

Item No.
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